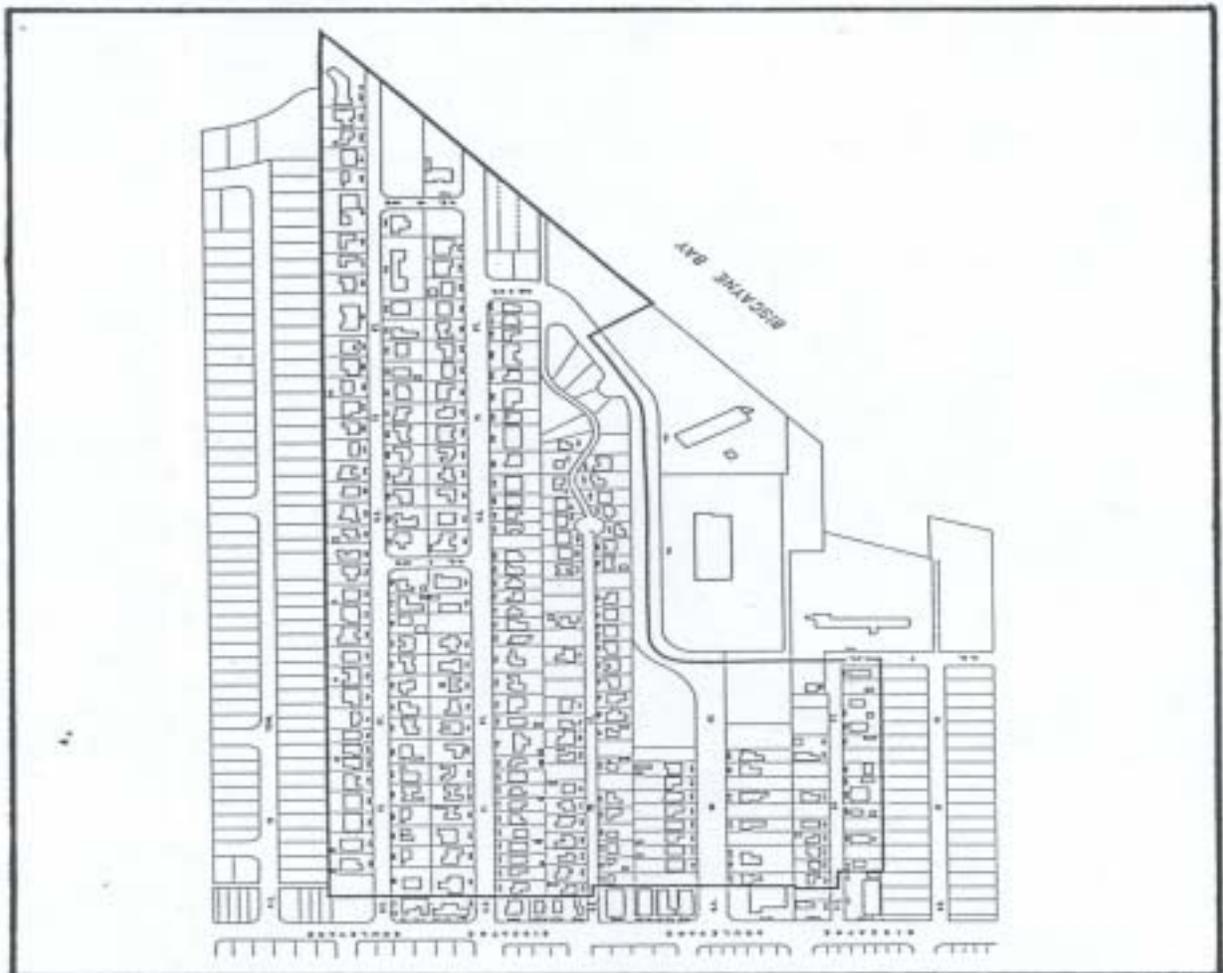

BAYSIDE HISTORIC DISTRICT

Designation Report



City of Miami

REPORT OF THE CITY OF MIAMI
PLANNING AND ZONING DEPARTMENT
TO THE HISTORIC AND ENVIRONMENTAL PRESERVATION BOARD
ON THE POTENTIAL DESIGNATION OF
BAYSIDE HISTORIC DISTRICT
AS A HISTORIC DISTRICT

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Bayside Residents Association

Prepared by Sarah E. Eaton, Preservation Officer

Passed and
Adopted,
As Amended, on November 19, 1991

Resolution No. HEPB-91-39

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I. GENERAL INFORMATION

Historic Name:

Elmira, Baywood, Acadia, Washington Place

Current Name:

Bayside Historic District

Location:

The area generally bounded by the rear lot lines between N.E. 72nd Street and N.E. 72nd Terrace on the north; Biscayne Bay and N.E. 7th Court on the east; N.E. 69th Street east of N.E. 7th Court (extended) and the rear lot lines between N.E. 67th Street and N.E. 68th Street west of N.E. 7th Court on the south; and the rear lot lines of properties fronting on Biscayne Boulevard on the west.

Present Owner:

Multiple Owners - complete list of owners is available in the Planning, Building and Zoning Department.

Present Use:

Residential

Zoning District:

R-1

Tax Folio Number:

Multiple numbers - complete list of folio numbers is available in the Planning, Building and Zoning Department.

Boundary Description:

The boundary of the Bayside Historic District is shown as the heavy line on the attached map entitled "Bayside Historic District - Site Plan."

Classification:

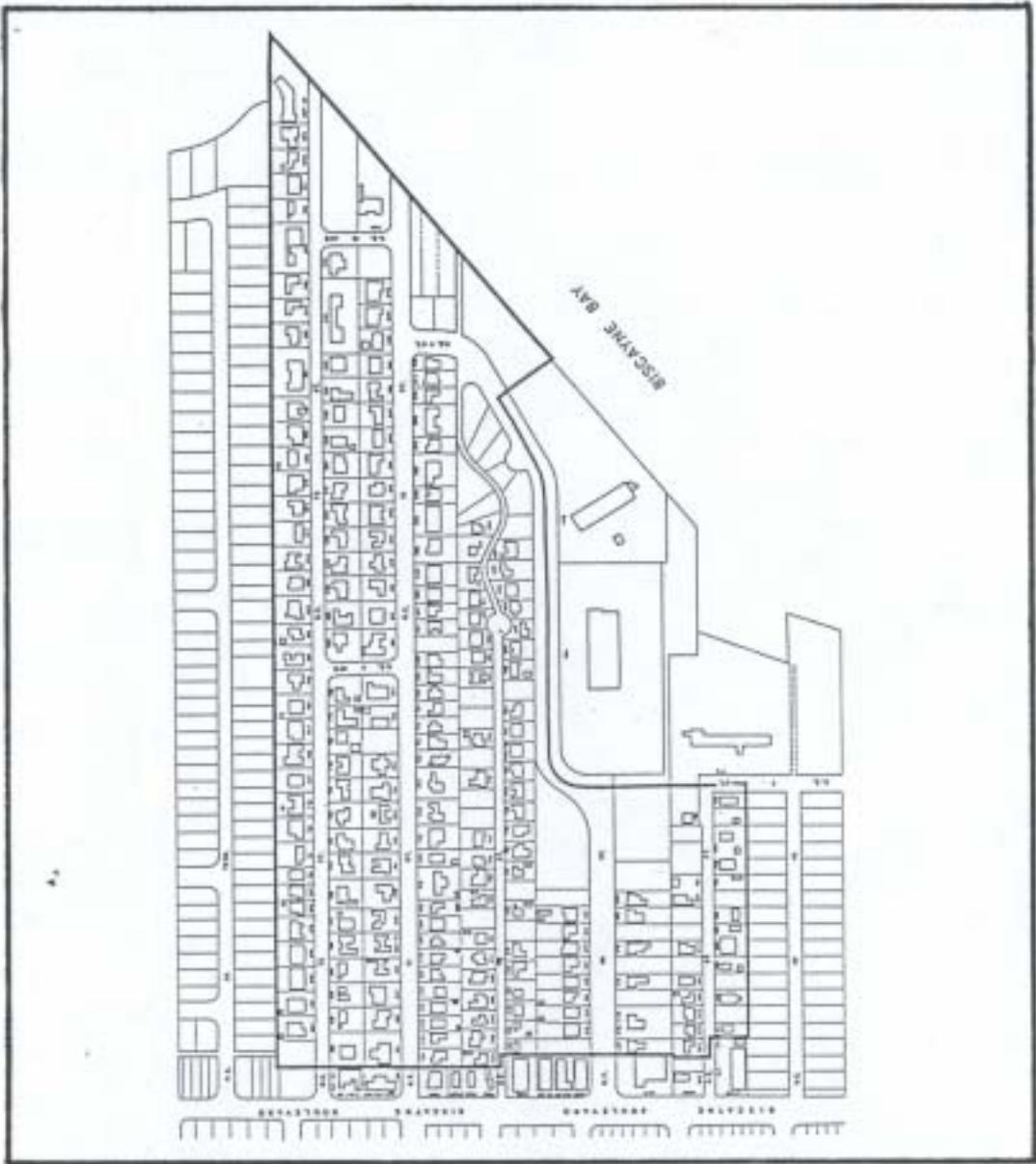
Historic District

BAYSIDE HISTORIC DISTRICT



location

BAYSIDE HISTORIC DISTRICT



Site plan

II. SIGNIFICANCE

Statement of Significance:

The Bayside Historic District is significant in the historical, cultural, and architectural heritage of the City of Miami. This neighborhood reflects the City's development from the formative years of the early 1900s through the mid 1940s. Once a part of the pioneer settlement of Lemon City, Bayside contains the oldest intact community in Northeast Miami, as well as one of this area's last remaining bayfront estates. The visual composition of the district's buildings represents a diversity of architectural styles, including Frame Vernacular, Mediterranean Revival, Art Deco, and Streamline Moderne. From its onset, Bayside was the home of many prominent residents who played significant roles in the business life of both Lemon City and Miami.

Bayside is comprised of four distinct subdivisions which were platted between 1909 and 1925, although the area itself was first settled in the late nineteenth century. These subdivisions include Elmira (N.E. 68th Street), which was platted in 1909; Acadia (N.E. 70th Street), which was platted in 1915; Baywood (N.E. 69th Street and the south side of N.E. 71st Street), which was platted in 1921 and added to in 1924; and Washington Place (N.E. 72nd Street and the north side of N.E. 71st Street), which was platted in 1925.

In 1909, William B. and Fred C. Miller (not related) subdivided a seven acre bayfront lot on today's N.E. 68th Street. The Millers had come to Florida in the late 1880s from Elmira, New York and had developed Elmira Farms near Arch Creek. Their new subdivision was named Elmira, and oolitic limestone gates announced the entrance to the new community. The Millers sold the lots for \$100 each, mostly to Elmira families. Families often purchased two or more lots to allow room for both a house and fruit grove. Residents had access to the bay, where a dock, boathouse, wharf, and large launch, the Elmira, were provided. One of the houses in the community was deeded to the Elmira Club Company, a nonprofit social club comprised of subdivision residents.

While much of what was Lemon City has been engulfed by later developments, Elmira has remained virtually intact. Although many of its houses have deteriorated, and newer buildings have been added, the street retains much of its early character. Elmira is characterized by its excellent collection of Frame Vernacular buildings, many of which were inspired by Northern architectural styles. The Elmira Club at 742 N.E. 68th Street, for example, has Dutch Colonial Revival influences, while other houses display classical details. The majority of houses were constructed in the 1910s.

The Acadia subdivision was platted in 1915 by the Realty Securities Corporation and George E. Merrick. Although the subdivision evokes the memory of Longfellow with such names as Acadian Way, Evangeline Circle, Tropical Trail, and

Druid Walk, the houses developed here are distinctly Mediterranean Revival in influence. This is due perhaps to the fact that only two houses were constructed prior to 1925. Development took off during the Boom years of the mid 1920s, however, when Wykoff and Estes Builders constructed an outstanding cluster of large, two-story Mediterranean Revival style houses near the eastern end of N.E. 70th Street.

The south side of N.E. 71st Street was platted in 1921 by the Krames-Corlett Company as a part of the Baywood subdivision. In 1924, N.E. 69th Street was platted as the First Addition to Baywood by Annie H. Post of St. Lucie County. These areas were developed primarily between the late 1920s and the mid 1940s.

The last subdivision to be subdivided was Washington Place, which was also developed between 1925 and the mid 1940s. Samuel J. Prescott, who platted the subdivision in 1925, had constructed his own winter home at 7101 N.E. 10th Avenue some years before. The house remains today as one of the last intact bayfront estates in Northeast Miami. The estate once featured a recreational golf course for residents and guests. Prescott was founder of the firm of Samuel J. Prescott Co., Inc., building contractors, which developed several significant buildings in downtown Washington, D.C. Prescott was chairman of the board of the Second National Bank of Washington, D.C., president of the Master Builders Association, the Builders and Manufacturers Exchange, and the Prescott Farms Company of New Hampshire.

In addition to its pioneer residents from Elmira, the Bayside Historic District has been home to many prominent individuals throughout its history. Many of its residents founded and maintained thriving businesses in the Lemon City/Little River commercial district. Fred C. Slater was manager of the Duval Jewelry Company, forerunner of Zales Jewelry. Alex Donn cofounded the Exotic Gardens, one of Miami's oldest florists. The Honorable Arthur Patrick Cannon served as a U.S. Representative from 1939 to 1947.

Houses constructed in Bayside reflect the diversity, direction, and taste of individual residents as well as the architectural eclecticism prevalent in the early twentieth century. The earlier buildings in the district are Frame Vernacular, with several examples of early bungalows. Houses built in the 1920s are generally Mediterranean Revival in style, while structures built in the 1930s and 1940s are frequently Art Deco. Bayside also features a number of excellent examples of other architectural styles, including Mission, Streamline Moderne, and Florida Ranch. Other structures, best described as Masonry Vernacular, add to the area's architectural diversity.

Buildings in the district utilize a variety of local materials, such as keystone and oolitic limestone, as well as decorative tropical motifs. Prevalent motifs which appear in wrought iron screen doors and precast concrete vents include stylized floral and wave designs, palm trees, egrets, and sunbursts. Several houses feature elaborate garage doors exhibiting flamingo, cactus, and bull's eye designs.

The Bayside Historic District remains today as an intact, cohesive neighborhood. Despite the number of post-1941 buildings, Bayside retains a high level of historic and architectural integrity. This is due, in part, to the fact that most later buildings are not intrusive, but respect the earlier structures in scale, setback, and materials.

Relationship to Criteria for Designation:

As stated above, the Bayside Historic District has significance in the historical and architectural heritage of the city; possesses integrity of design, setting, materials, workmanship, feeling, and association; and meets the following criteria for designation:

1. Are associated in a significant way with the life of a person important in the past.

Many prominent and influential citizens of early Miami resided in what is now known as the Bayside Historic District. These individuals have been important in such fields as commerce, community development, and government.

3. Exemplify the historical, cultural, political, economic, or social trends of the community.

The Bayside Historic District exemplifies the historical development of Miami's residential neighborhoods from the first decade of the twentieth century until the mid 1940s.

4. Portray the environment in an era of history characterized by one or more architectural styles.

The Bayside Historic District reflects the evolution of architectural styles that have served to characterize Miami's residential neighborhoods from the early 1900s to the mid 1940s. The neighborhood contains fine examples of Frame Vernacular, Mediterranean, Art Deco, and Streamline Moderne style buildings.

III. DESCRIPTION

Present and Original Appearance:

The Bayside Historic District is a bayfront neighborhood of single family houses in Northeast Miami. Located east of Biscayne Boulevard, the area contains 208 houses. Virtually every prevalent architectural in Miami is represented in Bayside, including Frame Vernacular, Mediterranean Revival, Mission, Art Deco, Streamline Moderne, Masonry Vernacular, and Florida Ranch.

Bayside is comprised of four subdivisions that were platted between 1909 and 1925. The primary streets in each subdivision run in an east-west direction, with few north-south avenues bisecting the neighborhood. Access to Bayside today is available only at the intersections of Biscayne Boulevard and N.E. 68th and 69th Streets. With the exception of N.E. 69th and 71st Streets, which contains tree-lined medians, most streets are narrow in width. The eastern end of N.E. 70th Street, for example, is one of the narrowest in the City. Most streets have no curbs, which lends a more casual feeling to the area.

A majority of houses in the district were constructed between 1909 and 1941, the area's major period of development. The post-1941 buildings generally respect the architectural character of the district.

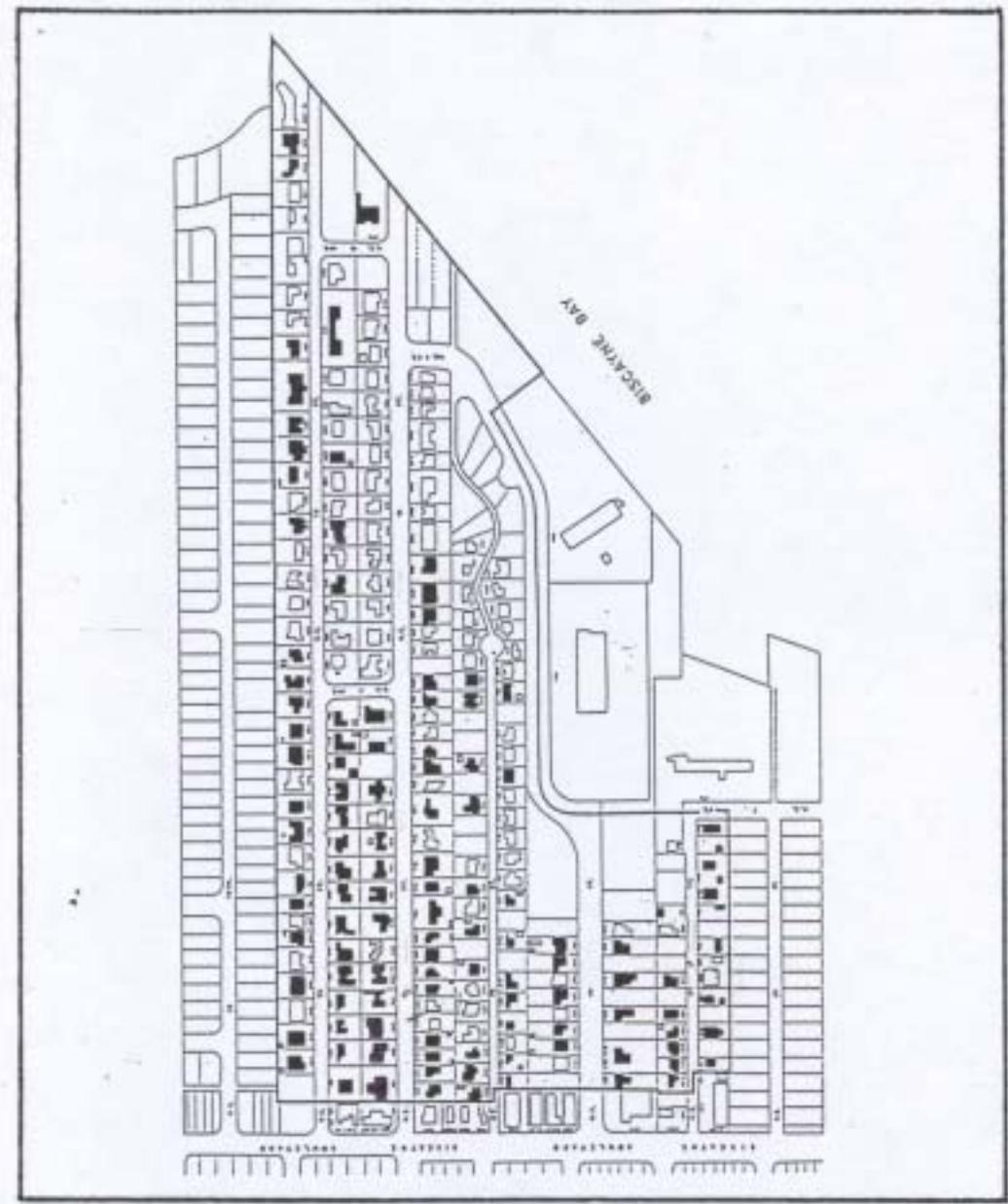
The majority of buildings in the district have been altered. Typical alterations include the installation of contemporary windows, doors, roofing, awnings, and fences and the addition and/or enclosure of porches, garages, and porte-cocheres. Several houses have been more significantly altered by the removal of important architectural features. Despite these alterations, however, the original character, massing, and setback of most houses within the district has not changed.

Bayside's narrow streets were once consistently lined with Jamaican Tall coconut palms and native underplantings. Most of the palms were decimated in the 1970s by lethal yellowing. Today, through neighborhood efforts, new palms and other native species are being planted to recapture the area's original tropical ambience.

Contributing Structures and/or Landscape Features:

Contributing structures are indicated on the attached map. Contributing landscape features include all trees subject to the provisions of Chapter 17 of the Miami City Code.

BAYSIDE HISTORIC DISTRICT



Contributing structure ■

IV. PLANNING CONTEXT

Present Trends and Conditions:

The Bayside Historic District is a stable residential neighborhood of detached, single-family houses. The houses are owner-occupied for the most part, and the majority are well cared for. Pockets of deterioration, however, do exist, particularly in southern portion of the district.

The neighborhood is flanked by other single family areas, with the exception of the commercial development on Biscayne Boulevard on the west and the multi-family, high-rise development on the southeast.

The Bayside Residents Association is an active neighborhood group that monitors neighborhood activities and lobbies for improvements. The association represents the entire Bayside area, which also includes N.E. 67th Street. Three recent projects have been the focal point of the group's efforts. These have included the rezoning of a parcel of land on Biscayne Bay south of N.E. 70th Street for park use. The second has been the installation of barricades on N.E. 70th, 71st, and 72nd Streets immediately east of Biscayne Boulevard in an effort to reduce crime in the area. The final project has been the gathering of research necessary to document the historic significance of the neighborhood in order to be eligible for historic district designation.

The Bayside Residents Association is also working closely with the Northeast Task Force in an effort to overcome the problems that are common to all neighborhoods within Northeast Miami. Focal points have included crime prevention and safety, code enforcement, public relations, economic development, and beautification.

Preservation Incentives:

The development of preservation incentives for single family residential areas is one of the most difficult to address. Without either a State constitutional amendment to allow property tax abatement or a grant and/or loan program for rehabilitation, there are few incentives that would be meaningful to homeowners. Although the City of Miami will provide technical assistance to property owners, no resources are available for grant assistance.

The City will also continue to support the Bayside Residents Association and the Northeast Task Force in efforts to revitalize the neighborhood. In Bayside, increased code enforcement may provide the most visual impact on the area.

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